



# YOUR INSPECTION REPORT

*Inspection, Education, Knowledge.*

PREPARED BY:  
ADAM HANNAN



FOR THE PROPERTY AT:

38 Harshaw Avenue  
Toronto, ON M6S 1Y1

PREPARED FOR:  
HEATHER GATT

INSPECTION DATE:  
Wednesday, August 12, 2020

## TIP

**THE  
INSPECTION  
PROFESSIONALS**

THE INSPECTION PROFESSIONALS, INC.  
3120 Rutherford Rd.  
Concord, ON L4K 0B2

416-725-5568  
HST# 89249 4501 RT0001

[www.inspectionpros.ca](http://www.inspectionpros.ca)  
[adam@inspectionpros.ca](mailto:adam@inspectionpros.ca)

**TIP**

**THE  
INSPECTION  
PROFESSIONALS**

August 16, 2020

Dear Heather Gatt,

RE: Report No. 2704, v.3  
38 Harshaw Avenue  
Toronto, ON  
M6S 1Y1

Thank you for choosing The Inspection Professionals to perform your Home Inspection.

The Inspection Professionals (TIP) is a Full-Time Professional, Certified multi-inspector award-winning company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a member of the Ontario Association of Home Inspectors and International Association of Certified Home Inspectors.

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$249. (A minimum savings of \$175). A full phone report review is also available for \$97.00

Sincerely,

ADAM HANNAN  
on behalf of  
THE INSPECTION PROFESSIONALS, INC.

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adam@inspectionpros.ca

# SUMMARY

38 Harshaw Avenue, Toronto, ON August 12, 2020

Report No. 2704, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

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This Summary outlines some of the potentially short-term significant issues from a cost standpoint. This section is provided as a COURTESY ONLY and cannot be considered a substitute for reading the entire report. Please read the complete document.

It is not possible for a home inspector to predict the future. It would be advisable to annually budget between 0.5% to 1% of the value of the home for unforeseen repairs and maintenance. This would hold true for any house that you were considering.

Things will wear out, break down, and fail without warning. This is a fact of home ownership.

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS

NOTE: FOR BALLPARK COSTS THE TERM 'MINOR' REFERS TO COSTS UNDER \$500

NOTE: FOR DIRECTIONAL PURPOSES USED THROUGHOUT THE REPORT, THE "FRONT" OF THE HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE EXTERIOR.

-----  
During a home inspection we inspect all visible systems and components. There are literally hundreds of potential minor issues found in every home, new and old. The inspection is not a technical audit on every minor flaw or deficiency. A technical audit can be performed at an additional cost. The focus of this inspection was to identify MAJOR issues with major systems and components. To simplify and give you a better understanding of what is considered a major issue, the inspection can generally be categorized as follows:

- 1)OBSERVABLE STRUCTURAL DEFECTS
- 2)OBSERVABLE WATER LEAKAGE/DAMAGE Roof, Plumbing, and basement moisture intrusion.
- 3)OBSERVABLE ELECTRICAL DEFECTS
- 4)LIFESPAN SYSTEMS- Roof Covering, Heating System, Cooling System, Windows

For Ballpark costs of various home components, please click here:

<http://www.inspectionlibrary.com/costs.htm>

## Roofing

### **FLAT ROOFING \ Modified bitumen**

**Condition:** • Aging

**Location:** Exterior Flat Roof

**Task:** Repair / Replace

**Time:** Less than 2 years

**Cost:** Consult with Specialist

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## Electrical

### **DISTRIBUTION SYSTEM \ Knob-and-tube wiring**

**Condition:** • Less than 20% knob and tube wiring present as verified by seller. Electrician documentation available through seller. See full knob and tube note under Electrical section of report.

**Implication(s):** Insurance considerations.

**Task:** Consult seller documentation

## Cooling & Heat Pump

### **AIR CONDITIONING \ Life expectancy**

**Condition:** • Past life expectancy

Typical lifespan is 10-15 years. The current unit is 21 years old. The unit was operational during inspection. The condenser fan is noisy/vibrating. Service and continue to use and replace when necessary.

**Implication(s):** Equipment failure | Reduced comfort

**Location:** Exterior

**Task:** Replace

**Time:** When necessary / Unpredictable

**Cost:** \$3,000 - and up

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>



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## Descriptions

### Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles



2. Asphalt shingles 5 years old

### Flat roofing material: • [Modified bitumen membrane](#)

#### Approximate age:

- 5 years

Sloped roof asphalt shingles at front of home are reported by seller to be 5 years old. Rear sloped age unknown but in fair condition.

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • General Recommendation for all homes - Strip Roof Covering when replacing. When replacing a roof covering, it is common to apply a second layer over the first to minimize costs. Best practice however, is to remove the old roof covering before installing the new roof. Adding a third layer of roofing is not recommended. It is common when re-roofing to find concealed damage to roofing boards, these and other hidden components. There is no practical way to predict the presence or extent of the damage.

### RECOMMENDATIONS \ Overview

**Condition:** • Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather

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**Condition:** • Aging

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**Cost:** Consult with Specialist



3. Aging



4. Aging



5. Aging

**Condition:** • [Ponding](#)

Evidence of low areas. water ponding likely in these areas. Click blue link for more information. Also see note roof aging

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various Exterior Flat Roof

**Task:** Repair low areas - see Roofing aging



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6. example



7. example

## FLAT ROOF FLASHINGS \ Wear or damage

**Condition:** • [Damage, loose, bent](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various Exterior Flat Roof

**Task:** Repair / Replace

**Time:** Less than 2 years



8. Example

**Condition:** • [Caulking, sealant dried out, cracked](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Chimney

**Task:** Improve

**Time:** Regular Maintenance

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9. Caulking, sealant dried out, cracked

## Inspection Methods and Limitations

**Inspection performed:** • By walking on roof • From roof edge



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## Descriptions

**Gutter & downspout material:** • [Plastic](#)

**Gutter & downspout discharge:** • [Above grade](#)

**Lot slope:** • [Away from building](#) • [Towards building](#) • [Flat](#)

**Wall surfaces and trim:**

• [Vinyl siding](#)

Rear addition

**Wall surfaces - masonry:** • [Brick](#)

## Observations and Recommendations

### ROOF DRAINAGE \ Gutters

**Condition:** • Aging - Wear and tear noted. Fasteners loose in some areas

**Location:** Various Exterior

**Task:** Upgrade

**Time:** Less than 2 years

### WALLS \ Flashings and caulking

**Condition:** • [Caulking missing or ineffective](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior Wall

**Task:** Seal light fixture

**Time:** As Soon As Possible

**Cost:** Less than \$100



10. Caulking missing or ineffective

## **WALLS \ Masonry (brick, stone) and concrete**

**Condition:** • [Spalling](#)

Spalling at various areas. Repair / Replace / Tuck point masonry/mortar. This is regular maintenance for a home of this age. photos show a sampling

**Implication(s):** Weakened structure | Chance of structural movement

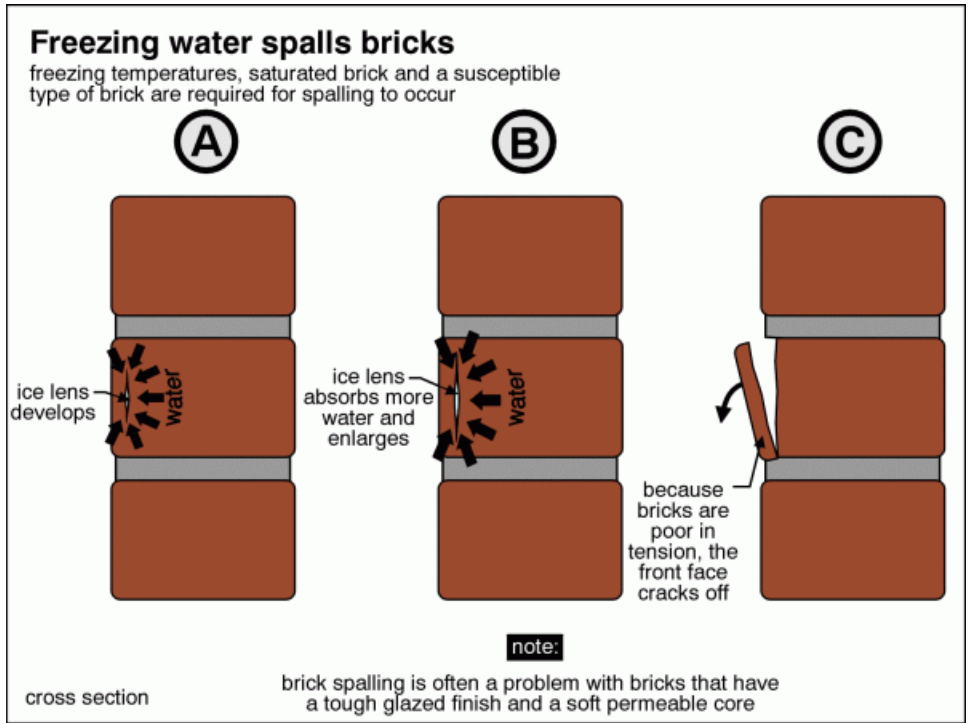
**Location:** Various Exterior Wall

**Task:** Repair / Replace

**Time:** Less than 1 year / Regular maintenance

**Cost:** Regular maintenance item

SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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11. Spalling example



12. Spalling example

**Condition:** • Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted

#### EXTERIOR GLASS/WINDOWS \ General notes

**Condition:** • Sill - Near or at Grade Level

This was common on older construction. Modern standards require that bottom of window be above grade by 6-inches or a window well be provided.

**Location:** Exterior



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**Task:** Monitor / Improve

**Time:** As Needed



13. Sill - Near or at Grade Level

## EXTERIOR GLASS/WINDOWS \ Exterior trim

**Condition:** • [Flashing loose, missing or deteriorated](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior

**Task:** Improve and seal

**Time:** Less than 1 year

**Cost:** Minor



14. Flashing loose, missing or deteriorated



15. Flashing loose, missing or deteriorated

**Condition:** • [Sill deteriorated](#)

**Implication(s):** Material deterioration

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**Location:** Exterior

**Task:** Patch

**Time:** Regular maintenance

**Cost:** Regular maintenance item



16. Sill deteriorated

## **EXTERIOR GLASS/WINDOWS \ Window well drains**

**Condition:** • [Missing](#)

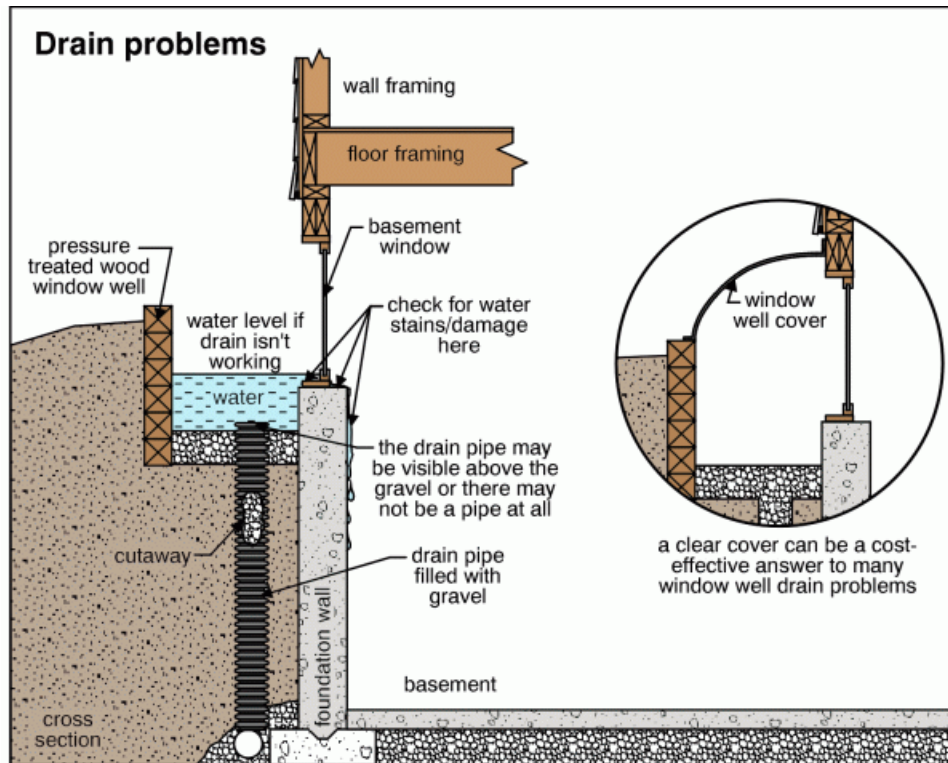
Modern standards require window well drains, as these are typically vulnerable areas for leakage. In the meantime, installing a clear plastic window well cover to help manage the water in this area is recommended. Ensure that you seal the cover to the house.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Right Side Exterior

**Task:** Provide window well drain if regrading in the future

SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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17. Missing

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

**Condition:** • Aging / Old Deck

**Location:** Rear Exterior Deck

**Task:** Repair / Replace

**Time:** Less than 1 year



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## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Columns / Posts

**Condition:** • [Rot](#)

**Implication(s):** Weakened structure | Chance of movement

**Location:** Front Exterior Porch

**Task:** Repair / Replace

**Time:** Less than 1 year

**Cost:** Minor



18. Rot



19. Rot

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

**Condition:** • [Missing](#)

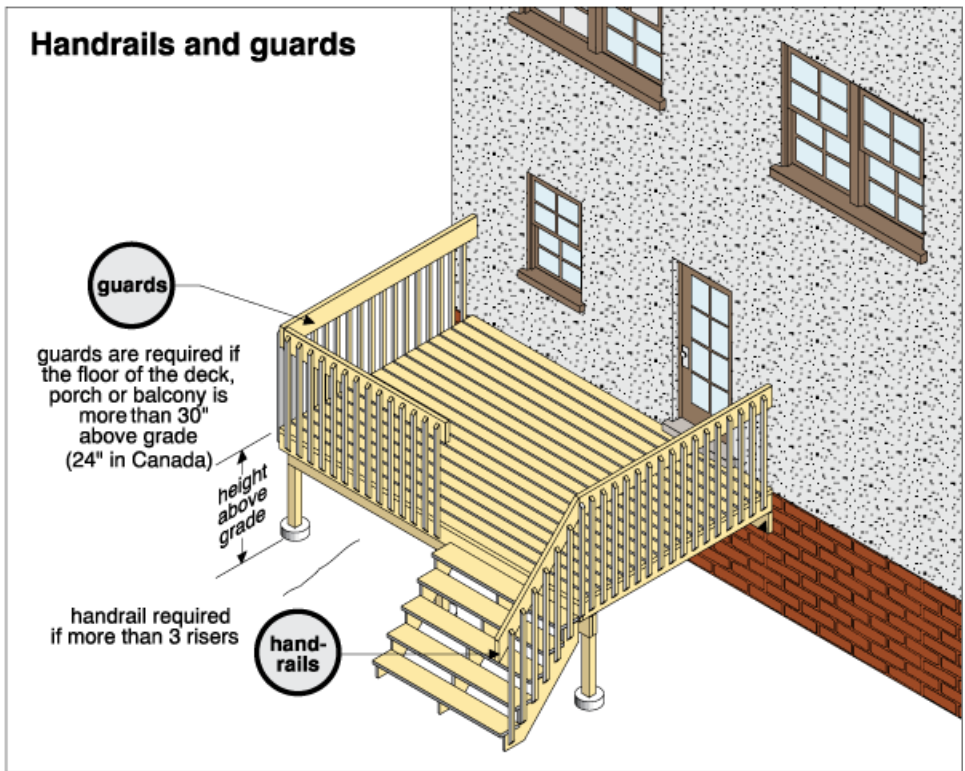
**Implication(s):** Fall hazard

**Location:** Rear Exterior Deck steps and Front Steps

**Task:** Provide additional hand rail at deck and provide handrail at front steps

**Time:** less than one year

SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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20.



21. Missing

**Condition:** • [Ineffective](#)

The lattice is not effective to prevent falls. Also deck railings are loose. Replacement of Guardrails with spindles is recommended

**Implication(s):** Fall hazard

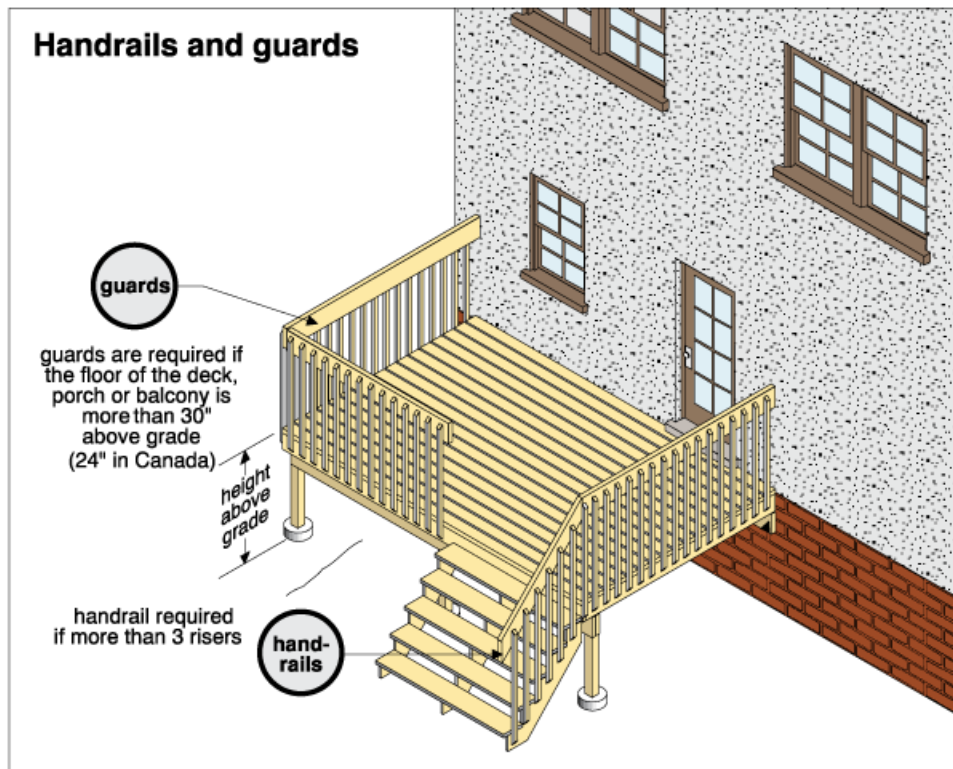
**Location:** Throughout Rear Exterior Deck

**Task:** Replace

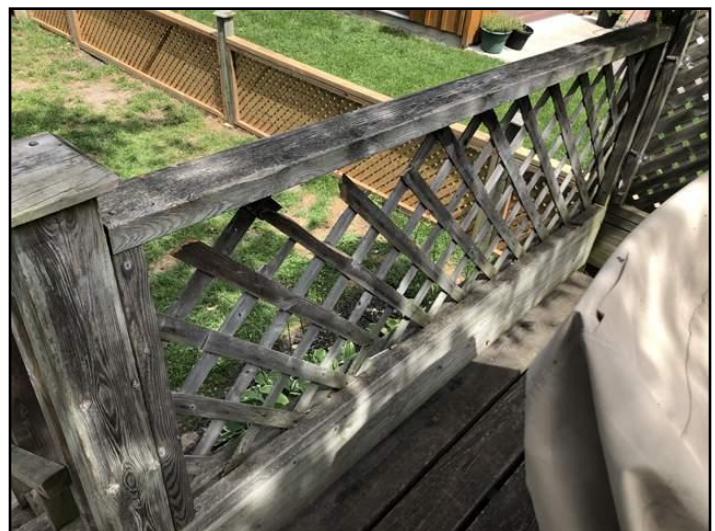


SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Time: As Soon As Possible



22. Ineffective



23. Ineffective



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24. Ineffective

## LANDSCAPING \ Lot grading

**Condition:** • During rainfall, walk the exterior to view if any water is draining towards the home. Improve these areas as needed

## LANDSCAPING \ Walkway

**Condition:** • [Improper slope or drainage](#)

Walkway has settled. Monitor / Correct walkway slope to allow for better drainage away from home.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Right Side Exterior

**Task:** Monitor / Improve

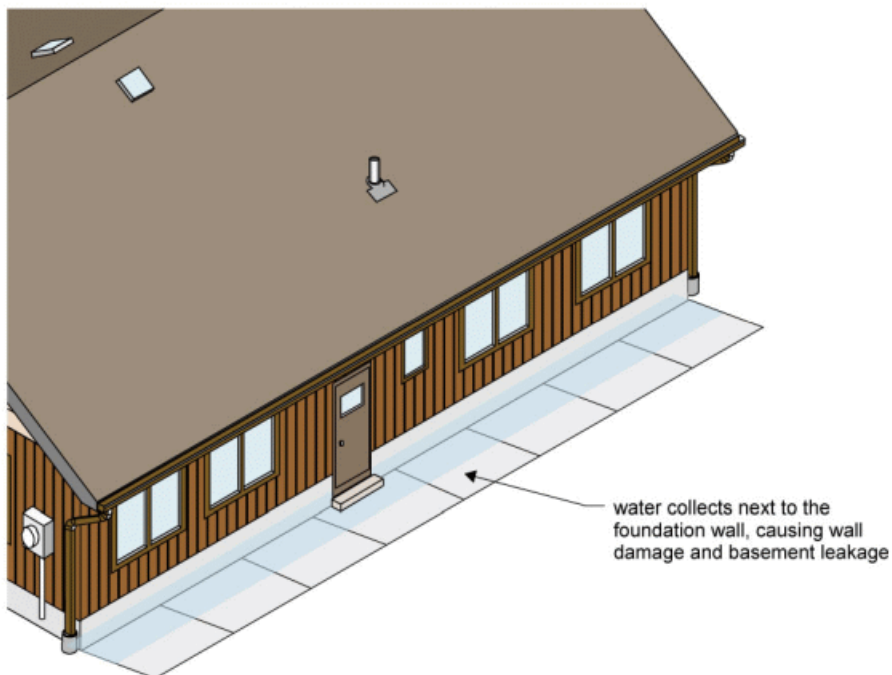
**Time:** As Needed

SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Recommended grading slopes



## Walk/patio sloping towards house



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25. *Improper slope or drainage*

## Inspection Methods and Limitations

**Upper floors inspected from:** • Ground level



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## Descriptions

**General:** • The solid masonry walls and foundations that are visible are in good condition overall.

**Configuration:**

- [Basement](#)
- [Crawlspace](#)

At rear addition

**Foundation material:** • [Stone](#)

**Floor construction:** • [Joists](#)

**Exterior wall construction:** • [Masonry](#)

**Roof and ceiling framing:** • Not visible

## Observations and Recommendations

### FOUNDATIONS \ General notes

**Condition:** • [Parging damaged or missing](#)

**Implication(s):** Chance of damage to structure | Shortened life expectancy of material

**Location:** Various Exterior Wall

**Task:** Patch

**Time:** Regular maintenance



26. Parging damaged or missing



27. Parging damaged or missing

### WALLS \ Solid masonry walls

**Condition:** • [Mortar deteriorating](#)

Repointing / Tuck-Pointing of mortar needed at various areas. This is COMMON MAINTENANCE for all homes of this age. Photos show a small sampling

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Various Exterior Wall

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**Task:** Repair

**Time:** Regular maintenance/Less than one year

**Cost:** Regular maintenance item



28. Mortar deteriorating



29. Mortar deteriorating

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint • Insulation

**Attic/roof space:** • No access

**Percent of foundation not visible:** • 95 %

**Not included as part of a building inspection:** • An opinion about the adequacy of structural components

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Descriptions

- General:** • ALL ELECTRICAL CONDITIONS ARE CONSIDERED PRIORITY ITEMS
- Service entrance cable and location:** • [Overhead - cable type not determined](#)
- Service size:** • [100 Amps \(240 Volts\)](#)
- Main disconnect/service box type and location:** • [Breakers - basement](#)
- System grounding material and type:** • [Copper - water pipe](#)
- Distribution panel type and location:** • [Breakers - basement](#)
- Distribution panel rating:** • [125 Amps](#)
- Distribution wire (conductor) material and type:** • [Copper - non-metallic sheathed](#) • [Copper - knob and tube](#)
- Type and number of outlets (receptacles):** • [Grounded and ungrounded - typical](#)
- Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom and exterior](#)
- Smoke alarms (detectors):** • [Present](#)

## Observations and Recommendations

### SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

**Condition:** • [Breaker bridge missing](#)

**Implication(s):** Electric shock

**Location:** Basement Panel

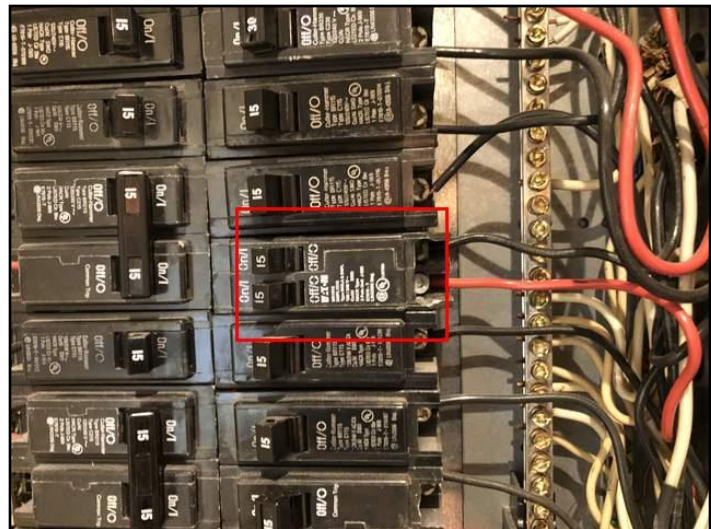
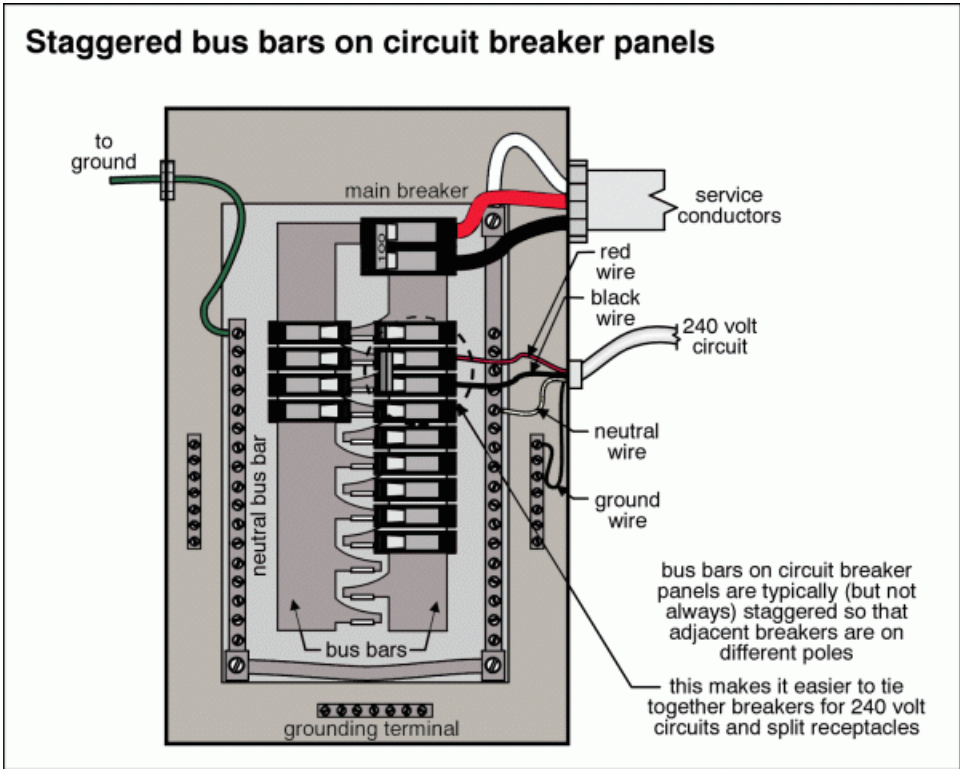
**Task:** Correct

**Time:** Immediate

**Cost:** Less than \$100



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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30. Breaker bridge missing

## DISTRIBUTION SYSTEM \ Knob-and-tube wiring

Condition: • [Outdated](#)

There is a mix of mostly newer with some older knob and tube wiring in the home. Knob and tube wiring was installed pre-1950 in all homes. Most of the wiring in the home is behind walls and ceilings and not observed. The seller has recently had the wiring checked by a licensed electrician. The electrician verified that knob and tube wiring represents less than 20% of the wiring in the home. Request documentation from seller.



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The ESA authority does not consider this wiring unsafe. However, Knob and tube wiring is an insurance issue as many insurers require that this wiring be upgraded. Some insurers will require an audit to estimate the percentage of knob and tube wiring still present.(already completed by seller) Consult with your insurance company for their requirements and/or acceptable limits. It is possible to get insurance coverage with providers such as David Slack who the current home owners have had insurance with for 10+ years..

**Implication(s):** Nuisance | Potential problem when obtaining home insurance

**Location:** Various

**Task:** Request documentation from seller

**Time:** As Soon As Possible

**Cost:** Approximately \$5000 to update when necessary

**Condition:** • Less than 20% knob and tube wiring present as verified by seller. Electrician documentation available through seller. See full knob and tube note under Electrical section of report.

**Implication(s):** Insurance considerations.

**Task:** Consult seller documentation

### **DISTRIBUTION SYSTEM \ Wiring - installation**

**Condition:** • [Abandoned wire](#)

These wires were not live at time of inspection and do not appear to be in use.

**Implication(s):** Electric shock

**Location:** Basement beside panel

**Task:** Provide junction box or remove.



31. Abandoned wire

### **DISTRIBUTION SYSTEM \ Smoke alarms (detectors)**

**Condition:** • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

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## Inspection Methods and Limitations

**System ground:** • Quality of ground not determined

# HEATING

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## Descriptions

**General:** • The heating system is a premium quality system and is in good condition.

**System type:** • [Furnace](#)

**Fuel/energy source:** • [Gas](#)

**Heat distribution:** • [Ducts and registers](#)

**Approximate capacity:** • [60,000 BTU/hr](#)

**Efficiency:** • [High-efficiency](#)

**Approximate age:** • [8 years](#)

**Typical life expectancy:** • Furnace (high efficiency) 15 to 20 years

**Fireplace/stove:** • None

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • Set up annual service plan which includes coverage for parts and labour.

**Location:** Basement Furnace Room

**Task:** Service annually

**Time:** Ongoing

**Cost:** Regular maintenance item

### CHIMNEY AND VENT \ Masonry chimney

**Condition:** • [Loose, missing or deteriorated masonry](#)

**Implication(s):** Material deterioration

**Location:** Chimney

**Task:** Repair / Replace

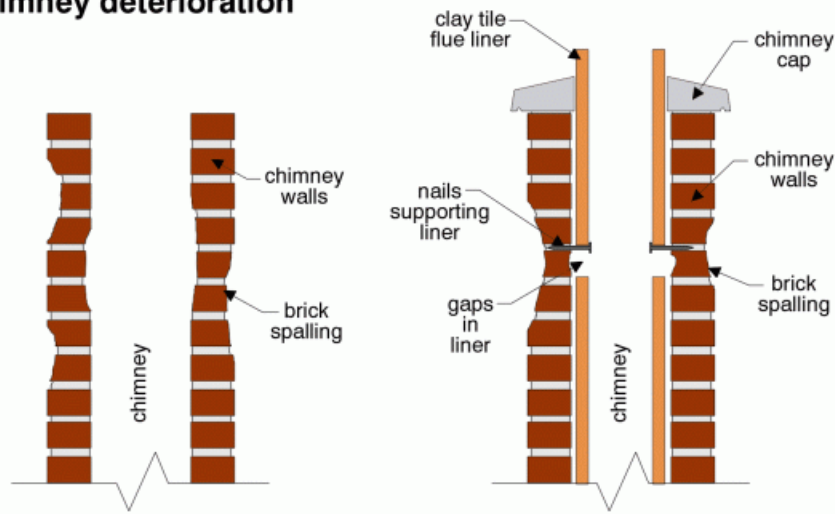
**Time:** Less than 1 year

**Cost:** Regular maintenance item



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
LINKS	MORE INFO	REFERENCE							

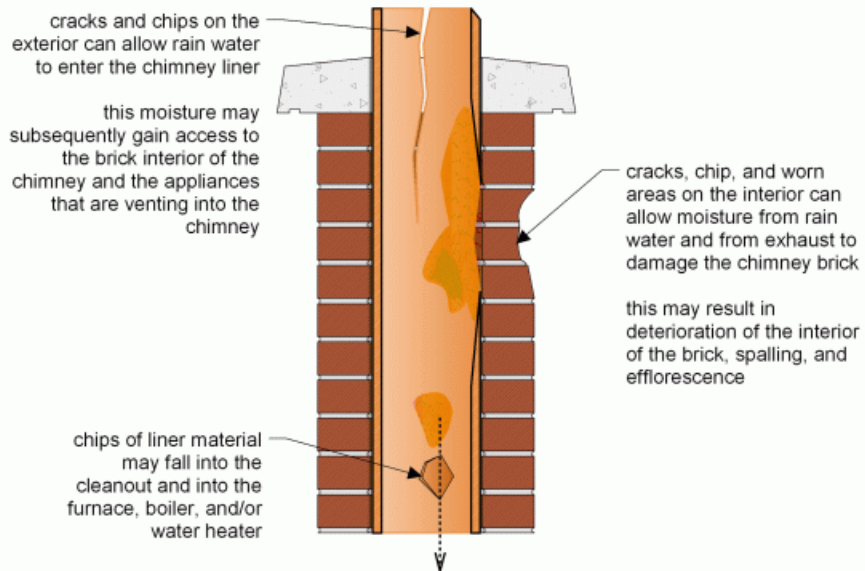
## Chimney deterioration



unlined chimneys are particularly prone to damage caused by condensation of flue gases - the damage tends to be worse near the top of the chimney

even lined chimneys can suffer from condensation related brick damage

## Deteriorated clay chimney liner



# HEATING

38 Harshaw Avenue, Toronto, ON August 12, 2020

Report No. 2704, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
LINKS	MORE INFO	REFERENCE							



32. Loose, missing or deteriorated masonry



33. Loose, missing or deteriorated masonry



34. Loose, missing or deteriorated masonry

## Inspection Methods and Limitations

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Heat exchanger:** • Not visible

# COOLING & HEAT PUMP

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[www.inspectionpros.ca](http://www.inspectionpros.ca)

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## Descriptions

**Air conditioning type:** • [Air cooled](#)

**Cooling capacity:** • [24,000 BTU/hr](#)

**Compressor approximate age:** • 21 years

**Typical life expectancy:** • 10 to 15 years

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • In general, air conditioning units have a lifespan of 10-15 years but often last longer with regular servicing.

### AIR CONDITIONING \ Life expectancy

**Condition:** • Past life expectancy

Typical lifespan is 10-15 years. The current unit is 21 years old. The unit was operational during inspection. The condenser fan is noisy/vibrating. Service and continue to use and replace when necessary.

**Implication(s):** Equipment failure | Reduced comfort

**Location:** Exterior

**Task:** Replace

**Time:** When necessary / Unpredictable

**Cost:** \$3,000 - and up

### AIR CONDITIONING \ Air cooled condenser coil

**Condition:** • [Damage](#)

Some of the fins are damaged and dirty. Service annually

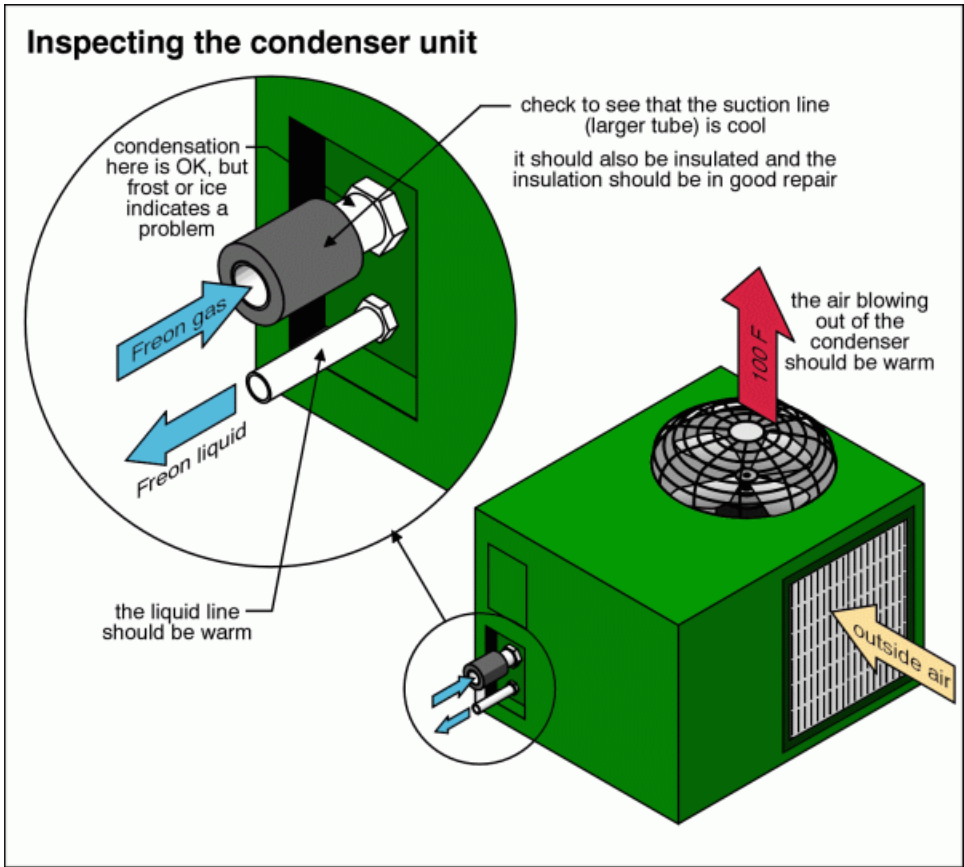
**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

**Location:** Exterior

**Task:** Service and clean



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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35. Dirty

# COOLING & HEAT PUMP

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## Inspection Methods and Limitations

**Heat gain/loss calculations:** • Not done as part of a building inspection

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	<b>INSULATION</b>	PLUMBING	INTERIOR
LINKS	MORE INFO	REFERENCE							

## Descriptions

- Attic/roof insulation material:** • Not visible
- Attic/roof insulation amount/value:** • [Not visible](#)
- Attic/roof air/vapor barrier:** • [Not visible](#)
- Foundation wall insulation material:**
  - [Plastic/foam board](#)
  - Spray Foam

## Observations and Recommendations

### ATTIC/ROOF \ Hatch/Door

**Condition:** • [Missing](#)

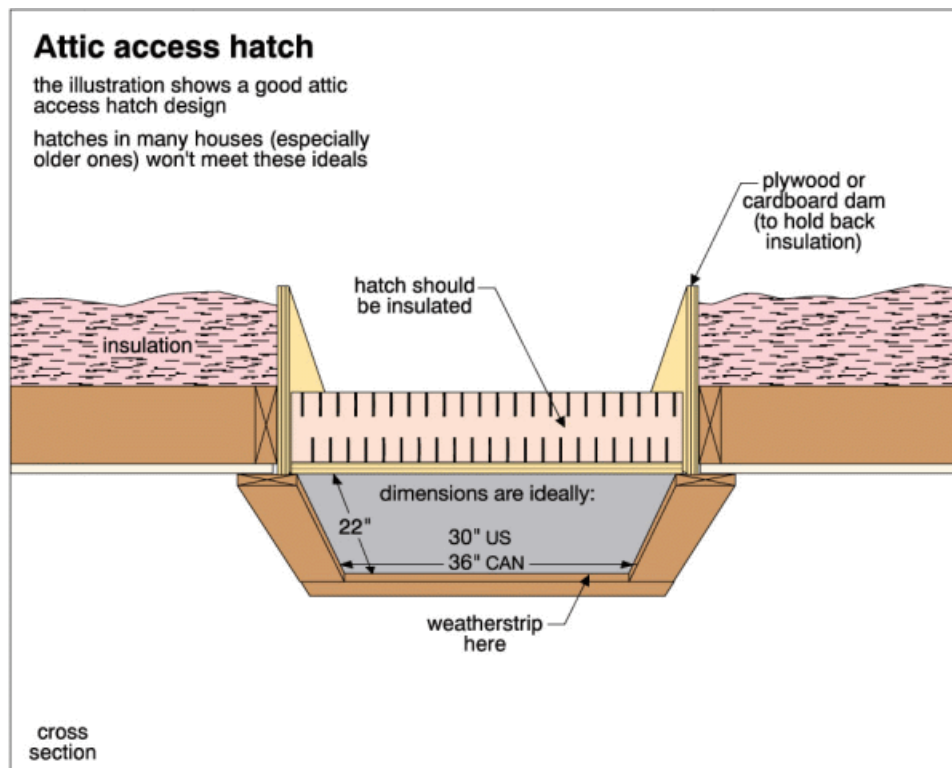
No Access to attic. Provide access hatch so the small roof space can be inspected. There will likely be a very small attic area below the sloped roof area only. The current seller noted that access to the attic was sealed prior to their ownership (more than 10 years)

**Implication(s):** Difficult to service

**Location:** Attic

**Task:** Provide access and inspect

**Time:** Less than 1 year





# INSULATION AND VENTILATION

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## Inspection Methods and Limitations

**Inspection limited/prevented by lack of access to:** • Attic • Walls, which were spot checked only

**Roof ventilation system performance:** • Not evaluated

**Air/vapor barrier system:** • Continuity not verified

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
LINKS	MORE INFO	REFERENCE							

## Descriptions

### Service piping into building:

- [Copper](#)

Seller upgraded the water service pipe to copper (pipe from street to home) approximately 10 years ago

### Supply piping in building: • [Copper](#)

**Main water shut off valve at the:** • Front of the basement

**Water flow and pressure:** • [Functional](#) • [Typical for neighborhood](#)

**Water heater type:** • [Induced draft](#)

**Water heater location:** • Furnace room

**Water heater fuel/energy source:** • [Gas](#)

**Water heater exhaust venting method:** • Induced draft

**Water heater tank capacity:** • [40 gallons](#)

**Water heater approximate age:** • 8 years

**Water heater typical life expectancy:** • 10 to 15 years

**Waste and vent piping in building:** • [Plastic](#)

**Floor drain location:** • Near heating system

## Observations and Recommendations

### **WASTE PLUMBING \ Drain piping - performance**

**Condition:** • Sewer backup insurance is recommended for ALL homes

Sewer backup can happen to any home. There are many potential causes and it is prudent for homeowners to have coverage for this.

**Condition:** • A videoscan of the waste plumbing is recommended to determine whether there are tree roots or other obstructions, and to look for damaged or collapsed pipe. This is common on older properties, especially where there are mature trees nearby. This is a great precautionary measure, although many homeowners wait until there are problems with the drains. The cost may be roughly \$200 to \$400.

GENERAL RECOMMENDATION FOR ALL HOMES BUILT PRIOR TO 1970

### **FIXTURES AND FAUCETS \ Basin, sink and laundry tub**

**Condition:** • [Slow drains](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Basement Laundry Tub

**Task:** Clean / Unclog

**Time:** Prior to first use

### **FIXTURES AND FAUCETS \ Toilet**

**Condition:** • [Loose](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Sewage entering the building | Possible hidden damage

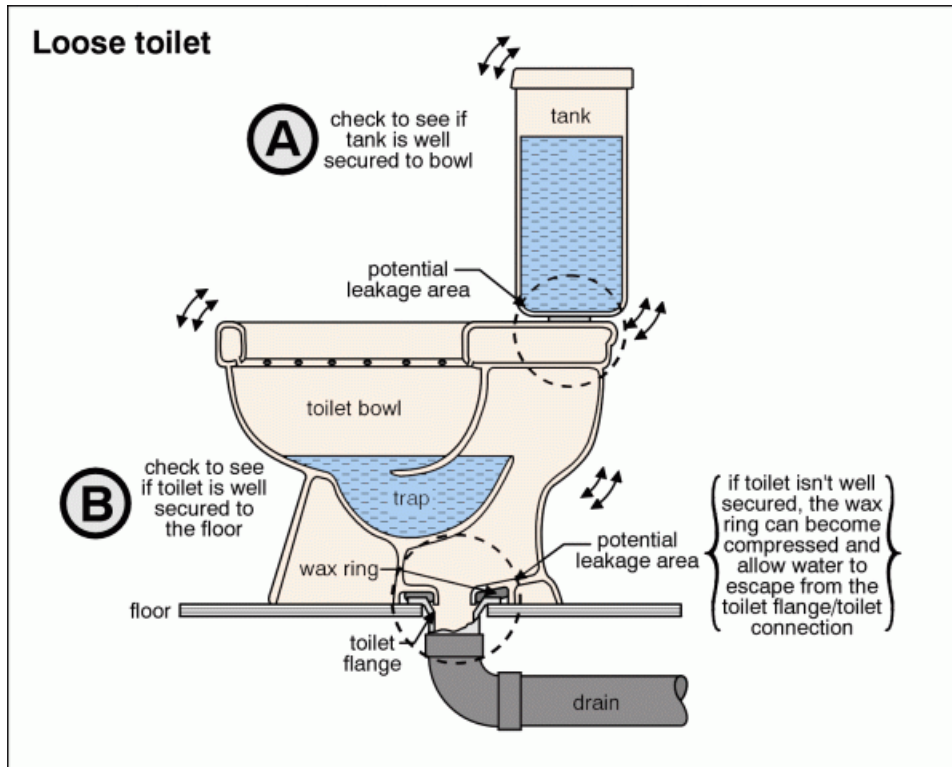
SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
LINKS	MORE INFO	REFERENCE							

**Location:** Basement

**Task:** Improve

**Time:** Regular maintenance

**Cost:** Regular maintenance item



## Inspection Methods and Limitations

**Items excluded from a building inspection:** • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Pool • Spa • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Descriptions

**General:** • Many interior components have been updated

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Fixed](#) • [Single/double hung](#) • [Sliders](#)

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • Hinged • [Sliding glass](#)

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear

**Condition:** • Seller noted that the basement has not encountered any basement leakage and has been a dry basement overall.

### FLOORS \ Subflooring

**Condition:** • [Prior repairs](#)

As viewed from furnace room, some areas of the subfloors/joists had prior repairs or were reinforced.

**Implication(s):** Weakened structure

**Location:** Basement Furnace Room

**Task:** For Your Information



36. Prior repairs



37. Prior repairs

### WINDOWS \ General notes

**Condition:** • Aging

Varying ages and styles of windows noted throughout. We noted windows from 1998 and 2003 and others unknown. The windows are in serviceable condition. Upgrade older windows as needed. We typically recommend immediate replacement only if window leakage or damage is present.

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**Location:** Various  
**Task:** Upgraded  
**Time:** Discretionary as needed  
**Cost:** Consult with specialist

### **STAIRS \ Landings**

**Condition:** • [Missing](#)

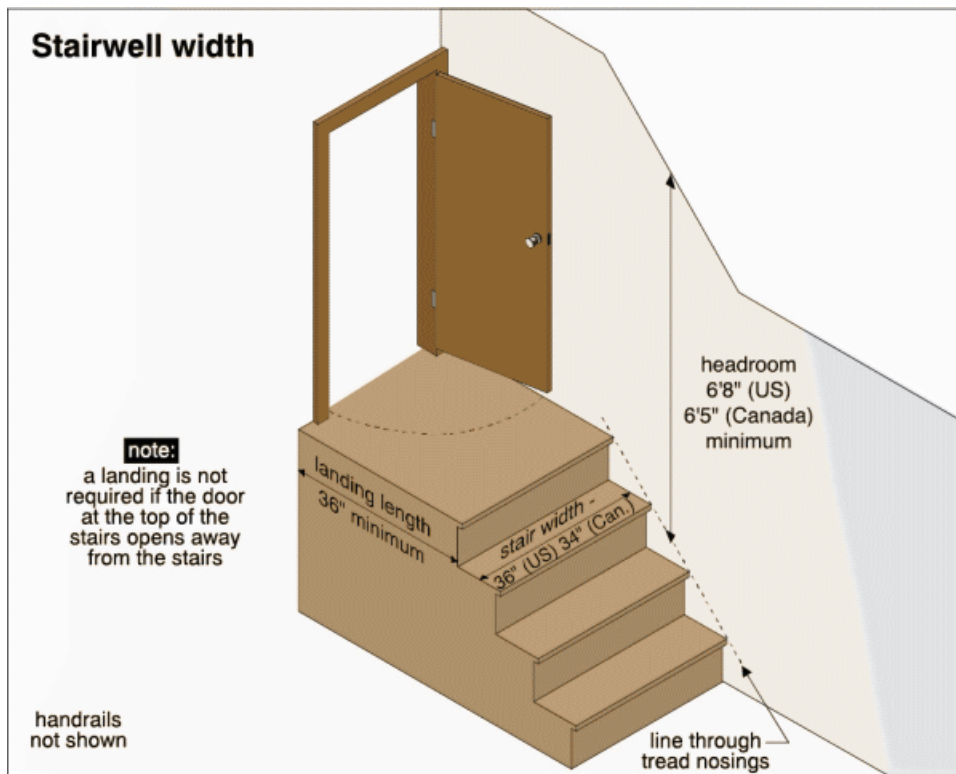
Door opens towards stairs with no landing. This can be a fall hazard to someone standing on the stairs. Providing a landing is costly. Changing the direction that the door opens is a more cost-effective method of improvement.

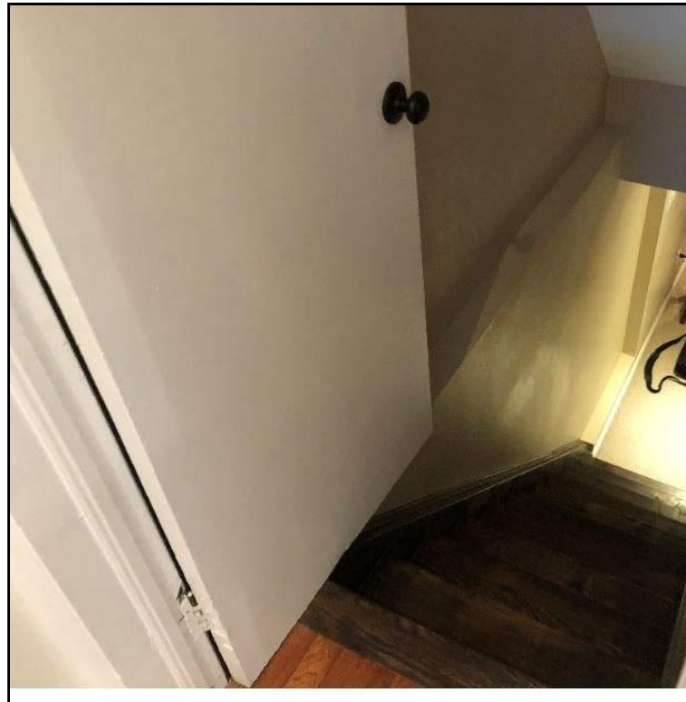
**Implication(s):** Trip or fall hazard

**Location:** Basement Staircase

**Task:** Switch door direction

**Time:** As soon as possible





38. Missing

### **EXHAUST FANS \ Kitchen range exhaust system**

**Condition:** • Not vented to exterior

Venting to the exterior was not standard when home was built

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Kitchen

**Task:** Upgrade

**Time:** When remodelling / Discretionary

### **BASEMENT \ Leakage**

**Condition:** • **\*\*\*FOR FUTURE REFERENCE\*\*\*** Basement Leakage 4-step method.

Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

### **BASEMENT \ Wet basements - vulnerability**

**Condition:** • Typical of many homes with stone, brick, or block foundations, some moisture can be expected from time to

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time and is not unusual. Exterior grading and water management improvements are generally effective at reducing basement moisture. A dehumidifier can also be used to keep humidity levels down.

## Inspection Methods and Limitations

**General:** • Up until about 1985, Asbestos was used in a multitude of building materials including but not limited to: Insulation on hydronic piping, attic insulation, flooring and ceiling tiles, stucco / stipple ceilings, glue, insulation around heating ducts and registers, plaster and so on. Identification of asbestos is outside the scope of a home inspection. If you have concerns about asbestos, consult with a professional environmental company that specializes with asbestos lab testing. If you plan to remove/disturb any building material, testing for asbestos is recommended beforehand.

**Inspection limited/prevented by:** • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

**Not included as part of a building inspection:** • Carbon monoxide alarms (detectors), security systems, central vacuum  
Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Environmental issues including asbestos • Paint, wallpaper, and other finishes • Floor coverings

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

**Percent of foundation not visible:** • 95 %

**Basement leakage:** • Basement leakage is common. Most basements will experience leakage at some point. We cannot predict future occurrence or extent of basement leakage • Monitor the basement for leaks in the Spring.



# LINKS

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## Descriptions

**General:** • [Low concentrations of CO can go undetected and can contribute to ongoing, unidentified illnesses. At high concentrations, it can be deadly.](#) • [Serious structural problems in houses are not very common, but when they occur they are never cheap to fix. Some cant be fixed at all. This report wont turn you into a home inspector, but it will give you some of the common indicators.](#) • [There are so many home maintenance and repair items that are important; it can be confusing trying to establish which are the most critical.](#) • [\(Life Cycles and Costs\)](#) • [This report will deal with the simpler topic of home repair--basically replacing things that are worn out or fixing things that are broken.](#) • [Common Building Technical Terms Explained](#)

**General:** • [The Inspection Professionals Website](#)

## Descriptions

**GOOD ADVICE FOR ALL HOMEOWNERS:** • The following items apply to all homes and explain how to prevent and correct some common problems.

**Roof Leaks:** • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

**Annual Roof Maintenance:** • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

**Ice Dams on Roofs:** • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

**Maintaining the Exterior of Your Home:** • Regular maintenance includes painting and caulking of all exterior wood.

**Insulation Amounts - Current Standards:** • Attic and roof space: R-40 (R-50 if electric heat)

**Reduce Air Leaks:** • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

**Bathtub and Shower Maintenance:** • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

**Basement/Crawlspace Leakage:** • Almost every basement (and crawlspace) leaks under the right conditions. • [Click for more information.](#)

**MORE GOOD ADVICE FOR ALL HOMES:** • Here is some more information that applies to all homes.

**MORE GOOD INFORMATION:** • The following links give you access to documents that provide additional information on a range of topics.

**Life Cycles and Costs:** • [Ballpark estimates based on a typical three-bedroom home.](#)

**Priority Items for Home Buyers:** • [A list of things you should do when moving into your new home and a few regular maintenance items.](#)

**Maintenance:** • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components.](#) This document helps you look after your home.

**When Things Go Wrong:** • [Unpleasant surprises are unfortunately part of homeownership. This document helps to explain why things happen and why your home inspector may not have predicted it.](#)

**Standards of Practice:** • [This document sets out what a professional home inspection should include, and guides the activities of our inspectors.](#)

**END OF REPORT**

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
LINKS	MORE INFO	REFERENCE							

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

