



124 Roxborough Dr

Proposed Renderings



Introduction

To demonstrate the potential of a renovation and rear extension at 124 Roxborough Drive, the following pages provide a collection of possible layouts and visuals in the form of renderings.

They are provided for **illustrative purposes only**.

The drawings use the following parameters as a guide to create the visuals:

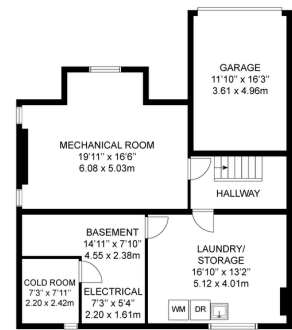
- The lot size of the property is 40*113ft, tapering at the rear to 38'6", to give a lot area of 4382.2sqft.
- Referring to City of Toronto Zoning Bylaw 569-2013, detached homes in an "RD" zone can be enlarged at the rear of the property, if the overall floor space index for the lot, including the addition does not exceed 0.69.
- This would enable 124 Roxborough Drive to have approximately 3000 sqft of living space above grade.
- The current house is approximately 2500 sqft above grade, enabling 500 sqft in additional allowable area to be added at the rear of the property.
- The proposed drawings show a main floor with a 320 sqft extension for an open-concept kitchen, dining, and family room at the rear of the property, and a second-floor 160 sqft extension for a primary ensuite with a balcony.

Please note

- All measurements are approximate, taken from existing floorplans. The established grade of the property will need to be measured in order to confirm the floor area of the home and any additional area that may be added as-of-right.
- There are other parameters to take into account when extending any property, including but not limited to, side setbacks, and the length of the extension.
- A City of Toronto Zoning applicable law review will need to be completed in order to confirm the allowable additional area that can be added to the home.
- Any addition proposed will need to comply with the City of Toronto forestry regulations.
- The subject property is located in the North Rosedale Heritage Conservation District. The subject property is designated as a Heritage Property and is subject to the provisions of the Ontario Heritage Act, R.S.O. 1990, c. O.18, as amended from time to time.

The buyer is responsible for verifying all information including, but not limited to, measurements, zoning, and planning requirements.

Basement

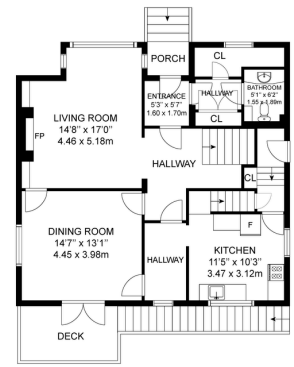


Existing Floor Plan



Proposed Floor Plan

Main Floor



Existing Floor Plan



Proposed Floor Plan



Proposed Living, Family & Kitchen Area

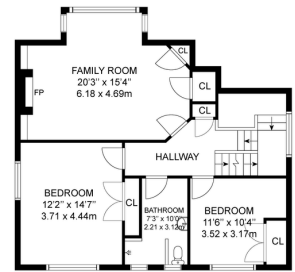


Proposed Living, Family & Kitchen Area



Proposed Living, Family & Kitchen Area

Second Floor

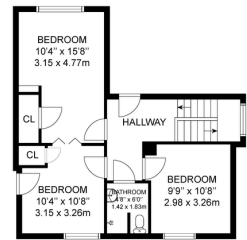


Existing Floor Plan



Proposed Floor Plan

Third Floor



Existing Floor Plan



Proposed Floor Plan



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